



# Zoning Staff Report

**Date:** December 13, 2022

**Case Number:** SP-22-010

**Council District:** 9

## Site Plan

**Case Manager:** [Monica Lafitte](#)

**Owner / Applicant:** Riokim Montgomery LP / KIMCO Realty Corporation

**Site Location:** 300-400 blocks Carroll Street

**Acreage:** 17.81 acres

## Request

**Proposed Use:** Amend Required Site Plan of PD574 for lots 1R and 3R for multifamily and mixed-use

**Companion Cases:** ZC-03-320A; SP-03-055

**Request:** Amend Site Plan for PD 574 Planned Development for all uses in “MU-2” Mixed-Use with ”DD” Demolition Delay

## Recommendation

**Staff Recommendation:** **Approval**

**Zoning Commission Recommendation:** **Approval by a vote of 8-0**

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## Project Description and Background

The subject site is located north of West 7<sup>th</sup> Street and east of Carroll Street, within the Planned Development PD574, which encompasses the Montgomery Plaza development. This case is for the northeast portion of the Planned Development along the railroad tracks. The Planned Development has a Demolition Delay overlay. It is located within the West Seventh Urban Village.

The purpose of the “MU-2” High Intensity Mixed-Use base zoning is to provide areas in which a variety of higher density housing types exist among commercial, institutional, and selected light industrial uses. The “MU-2” District is designed to accommodate and encourage compact, walkable development forms that are more land-efficient, cost effective, and revenue positive for the City than low-density, single-use developments. In addition to the purpose statements above, the intent of the “MU-2” District is to: promote a pedestrian-oriented urban form; require excellence in design of the public realm and of buildings that front public spaces; encourage creativity, architectural diversity, and exceptional design; promote sustainable development that minimizes negative impacts on natural resources; promote walkability; maximize connectivity and access; and promote affordable housing and mixed income communities.

As the main street running through this Mixed-Use area, West 7<sup>th</sup> Street is listed on the Master Thoroughfare Plan (MTP) as a Commercial Mixed-Use Street, which is designed to accommodate pedestrian, bicycle, and commuter traffic, as well as promote low traffic speeds, to provide for a mix of commercial, retail, and residential living. These districts are purposefully designed so individuals have multiple options for transportation, thus reducing the vehicular traffic count and traffic impacts. Due consideration should be given to the nature of the district and the nature of the MTP.

In the 2022 Comprehensive Plan of the City of Fort Worth, the Future Land Use designation of the area is Mixed-Use.

Because there is an approved site plan for PD574, any major changes to the site plan must go through the public hearing process. This northeast portion of the Planned Development is submitting a new site plan for their portion of the Planned Development. The site will remove the existing retail buildings and redesign the site with two new buildings, one entirely residential multifamily and one mostly residential with some commercial use located on the ground floor.

The existing PD574 was established via ZC-03-320A was adopted on 6/8/04. The below screenshot is from Ordinance 16001, which created the Planned Development.

### **2601 W. 7<sup>th</sup> Street**

**Description: Lot 1, Block 1, Montgomery Ward & Company Addition.**

### **Zoning Change:**

**From: “J” Medium Industrial**

**To: “PD/MU-2” Planned Development for High Intensity Mixed Use with Outdoor Sales and Storage of Masonry/Paving Materials; Fencing; Plants/Landscaping; Tool Shed; Lawn Equipment, and Outdoor Furniture permitted for both Large Retail Development. Site Plan required. (See SP-03-055)**

The associated SP-03-055 was approved at the same time as the Zoning Case. Since 2003, several minor amendments have been made to the overall site plan; these minor amendments have been handled administratively, as they were not large enough items to necessitate coming back through the public hearing process. No cases to revise the site plan have come to the Zoning Commission until this case. The original approved site plan and a 2010 amended site plan are both included as attachments to this report.

As this is a Site Plan case, it is not changing any of the development standards of the Planned Development. This case is only for the approval of the new proposed site plan for that footprint of PD574.

If the project is greater than 90% residential use, a proximity test must be completed and submitted to staff prior to building permits. Refer to 4.1302(b)(4) of the “MU-2” High Intensity Mixed-Use Ordinance.

This site was initially heard at the July 13 Zoning Commission and was continued for 60 days to allow more time to meet with the surrounding neighbors and to allow time to work out site plan items with staff. The applicant worked with staff to revise the site plan to bring it into compliance with the “MU-2” High-Intensity Mixed-Use standards for the September Zoning Commission. The case returned for the September 14 Zoning Commission and was continued for another 30 days to allow time for the Development Services-Transportation and Public Works staff to fully review the various traffic study documents and allow time for more communication between the community and the applicant.

The applicant submitted a traffic study to the Development Services-Transportation and Public Works staff for review. Tom Simerly, of the City staff, provided a letter on September 29 stating “Based on the City of Fort Worth Traffic Impact Analysis Guidelines, the report accurately represents the theoretical impact of the proposed development on the area infrastructure.” The full letter is provided in the correspondence for this zoning case.

The proposed residential and commercial uses are allowed by right at this site. With the site plan in compliance with the requirements for the “MU-2” High-Intensity Mixed-Use district, this project is allowed; it is only due to the established Planned Development Site Plan that this case is now coming before the Zoning Commission and City Council for approval of the proposed site plan.

## Surrounding Zoning and Land Uses

North “I” Light Industrial / Commercial and Industrial  
East “MU-2” High Intensity Mixed-Use / Residential Apartments  
South PD574 / Mixed Use  
West PD574 / Mixed Use

## Recent Zoning History

- ZC-22-091 from A-5 to UR; west of subject site; current zoning case continued to today’s docket
- ZC-22-047 from C to E; went to ZC April 2022; west of subject site
- ZC-21-193 from C to MU-1; effective 5/3/22; west of subject property
- ZC-21-026 from A-5 to PD/UR with development standards and site plan; effective 7/2/21; west of subject site
- ZC-21-069 from F to MU-2; effective 11/1/21; west of subject site

- SP-10-005 amend PD574 site plan for lot 4R; site plan with waiver requests for Chick-Fil-A which was denied without prejudice by City Council 8/3/10 because Chick-Fil-A submitted a site plan to staff that met the standards of the ordinance and no longer needed to site plan case; west-adjacent of subject site
- ZC-07-144 Council-initiated rezoning of 28 acres in Linwood from B, C, D, ER, I to A-5, R2, MU-1; effective 9/4/07; northwest of subject site
- ZC-06-195 creating Trinity Uptown District (now Panther-Island); northeast of subject site

## Public Notification

300-foot Legal Notifications were mailed on July 1, 2022.

The following organizations were notified: (emailed June 26, 2022)

Organizations Notified	
West 7 <sup>th</sup> Neighborhood Alliance	Inter-District 2 Alliance
Fort Worth Downtown Neighborhood Alliance	SO7 Townhome Association
Montgomery Plaza Residential Condominium Association*	Linwood NA*
Tarrant Regional Water District	Streams and Valleys Inc
Trinity Habitat for Humanity	Montgomery Plaza Master Condominium Association, Inc.
Cultural District Alliance	Fort Worth ISD

\* *These Neighborhood Associations are located closest to the subject property*

## Development Impact Analysis

### Site Plan Comments

#### **Zoning and Land Use**

*The site plan is in general compliance with the Zoning Ordinance. The below comments are intended to provide further information and clarity for the record of this case. There are not conditions of the site plan that must be revised in order to be brought into compliance with the zoning requirements.*

- Plat was not provided with the application documents, but an exhibit of existing and proposed access easements was provided. Platted Public Access Easements affect requirements of the MU-2 Ordinance, such as, but not limited to, the following:
  - 4.1302(g)(5) Buildings must have their main entrance from a public sidewalk or plaza, or from a private sidewalk or plaza that is publicly accessible through a public use easement. Primary entrances shall not be from a parking lot. Secondary entrances from parking lots are permitted.
  - 4.1302(g)(5)(e)(1) Apartments, condominiums, and manor houses with street level units must provide individual street-oriented entries for each unit along the primary street frontage
  - 4.1302(g)(5)(f)(1) Each retail use with exterior ground level exposure along a street or public space shall have an individual public entry from the street or public space.
  - Setbacks
- To obtain the height bonus for the 7-story building, project must meet requirements of 4.1302(d)(8). Applicant has expressed intent to meet 4.1302(d)(8)b for the Structured Parking height bonus (providing

100% of all off-street parking within the structured parking) and 4.1302(d)(8)c for Open Space (providing a publicly accessible pocket park).

- MU-2 has a maximum parking permitted of 100% of the calculated requirement. Parking calculations provided by the applicant provide for the calculated required parking.
- Surface parking must meet the landscape requirements of 4.1302(f)(3).
- As applicable, any fence or structure that is located within an easement will require permission of the easement holder(s) to encroach. Underground or aerial utilities include electricity, gas, water, sewer, telephone, etc. Awnings that encroach the right-of-way require an encroachment agreement.
- Enhanced Landscaping is not shown on the site plan, but it should be noted that it will be required to meet the Street Trees and Pedestrian Scaled lighting along all Rights-of-Way and all Public Access Easements that are acting as ROW. This note is shown on the site plan.
- Urban Forestry plantings are not shown on the site plan. Project must comply with Urban Forestry requirements per MU-2 standards. This note is shown on the site plan.
- Signs are not shown on the site plan. All signs will conform to Article 4, Signs, and the additional provisions of the MU-2 Ordinance in 4.1302(h)(1). This note is shown on the site plan.
- Many items of the MU-2 Ordinance are not able to be determined with a site plan and will be reviewed upon building permit submittal: façade variation, entrance locations, fenestration, entrance awnings, etc.
- Plans must be designed to comply with the MU-2 Ordinance. Any items that do not meet the Ordinance must be added as a Development Standard/Waiver to the PD. The item would first need to go before the Urban Design Commission (UDC) for a recommendation and then to Zoning Commission (ZC) with the final decision coming from City Council.
- Parking is being calculated per the requirement established via the original SP-03-055, rather than the current MU-2 standard. This note is shown on the site plan.

### **Fire Department**

- FWFD - (Lt. Donna York, donna.york@fortworthtexas.gov)
- Firefighter Air Replenishment Systems (FARS) are now required for any new building construction with 5 or more floors, 2 or more floors below grade, or 500,000 square feet or more.  
IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Appendix L
- Emergency Responder Radio Coverage Systems (ERCCS) may be required per Section 510. Signal strength testing required for any new building construction having 3 or more floors or anything over 50,000 square feet, or any basements, or any facility having Low-E or RF blocking windows.  
IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Section 510
- Open parking garages may require fire sprinkler systems dependent on their height, size, etc.  
IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Section 903
- All dry pip fire sprinkler systems must meet the 60 second trip time requirement, regardless of volume.  
IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Section 903
- A building where the topmost occupied floor level is more than 55' in height above the lowest level of fire department vehicle access shall be accessible by a public street or fire apparatus access road that is not less than 15' nor more than 25' from the inside curb to the building face along at least 1/2 of the length of 2 sides of the building. The measurement does not need to be contiguous.  
Such buildings shall also be provided with 2 separate and approved fire apparatus access roads. IFC

IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Section 503.1.4 Buildings Taller Than 55'

- Buildings greater than 55 ft. in height and Group E and H occupancies: the two access roads shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses.  
IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Section 503.1.2  
IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Section 503.1.7 Secondary Access-Multiple-family Residential
- Emergency Access/Fire Lane requirements IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022. This includes all fire access roads.  
Minimum turn radius: 25' inside and 51' outside (Section 503.2.4)  
Where divided by a median, the minimum width on either side of the median is 20' (Section 503.2.1)  
Minimum of 26' wide for multi-family or for buildings over 55' in height (Section 503.2.1)  
Minimum overhead clearance is 14' (Section 503.2.1)
- Existing hydrants may need to be relocated to meet requirements for hose lay to FDC:  
The Sprinkler and Standpipe FDC shall be located within 50 ft. of a dedicated street or fire apparatus access road shall be within 150 ft. of the fire hydrant. Each building shall be equipped with its own FDC, unless otherwise approved by the fire code official.  
IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Reference Sections 507.5.1, 507.5.4, 5, and 6 Fire Hydrants
- General information:  
Failure to recognize violations of the fire code by the fire code official does not waive the requirement of meeting minimum requirements of the fire code in the future.  
It is the applicant's and the owner's responsibility to meet all minimum fire code requirements at all times.
- The City of Fort Worth has adopted the 2021 International Fire Code as its current fire code at the time of this review. The City of Fort Worth has also adopted Amendments that are available by searching the City Secretary's site for Ordinance #25388-03-2022

### **Park & Recreation Department**

- PARD/PDP: This development is within the boundaries of Park Planning District 4; the Neighborhood & Community Park Dedication Policy applies.
- There is a required \$1225.50 fee due for each residential unit.
- All fees must be paid in full, at or before the time of applying for a building permit.
- No City permits will be issued until the PDP fees have been paid.
- Call or email Lori Gordon at 817-392-5743 or [lori.gordon@fortworthtexas.gov](mailto:lori.gordon@fortworthtexas.gov) for additional information.

### **TPW Engineering**

- TDR (Armond Bryant, 817-392-8702, [Armond.Bryant@fortworthtexas.gov](mailto:Armond.Bryant@fortworthtexas.gov))
- (Subdivision Ordinance) Traffic Assessment Study (Ch. 31-106.K.1.) - Submit a Traffic Impact Analysis (TIA) for TPW approval.

## **TPW Stormwater**

- Contact: [sds@fortworthtexas.gov](mailto:sds@fortworthtexas.gov)
- Site will require an accepted drainage study prior to final plat recording, final grading permit, and building permit issuance.

## **Development Services – Water Section**

- Water Department Comments  
Plat case review Performed On: 7/13/2022  
You may inquire about comments by emailing: [DSWS@fortworthtexas.gov](mailto:DSWS@fortworthtexas.gov)
- FYI Comments:
- Construction Prohibited over Easements  
No permanent buildings or structures shall be constructed over any existing or platted water, sanitary sewer, drainage, gas, electric, cable or other utility easement of any type.
- No private plumbing allowed to cross property lines
- Cut and plug existing services prior to demolition

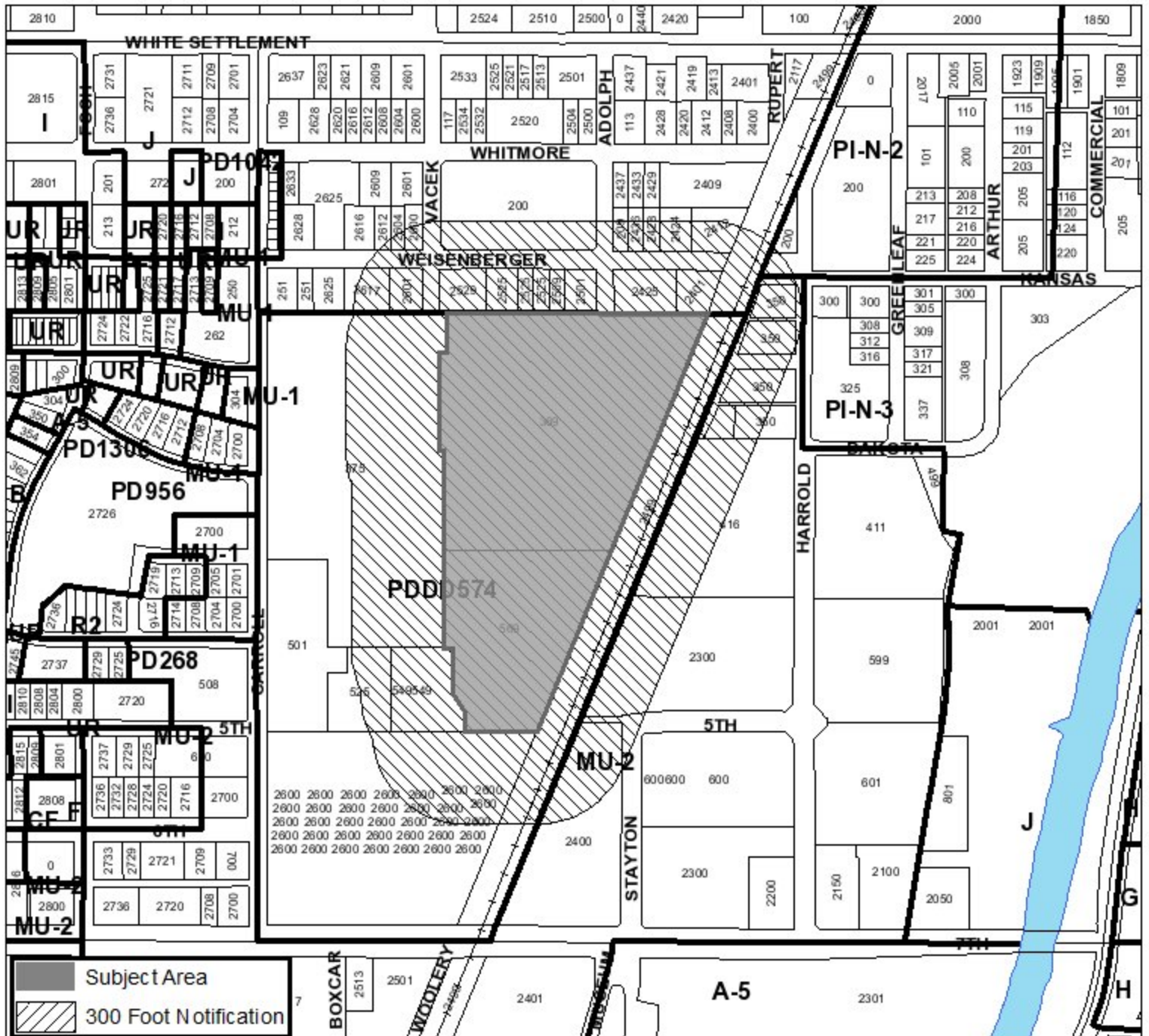
*(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)*





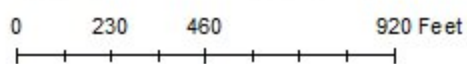


# Area Zoning Map

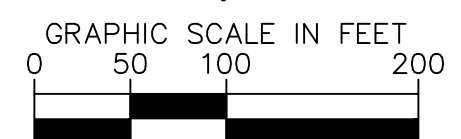
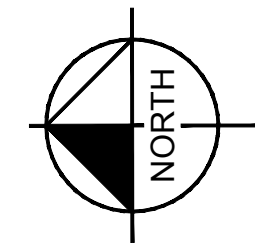
Applicant: Riokim Montgomery LP  
 Address: 300 - 400 blocks Carroll Street  
 Zoning From: PD 574 for MU-2 uses with Demolition Delay  
 Zoning To: Amend Site Plan for PD 574  
 Acres: 17.8151612  
 Mapsco: 62X  
 Sector/District: Arlington Heights  
 Commission Date: 7/13/2022  
 Contact: 817-392-2806



 Subject Area  
 300 Foot Notification





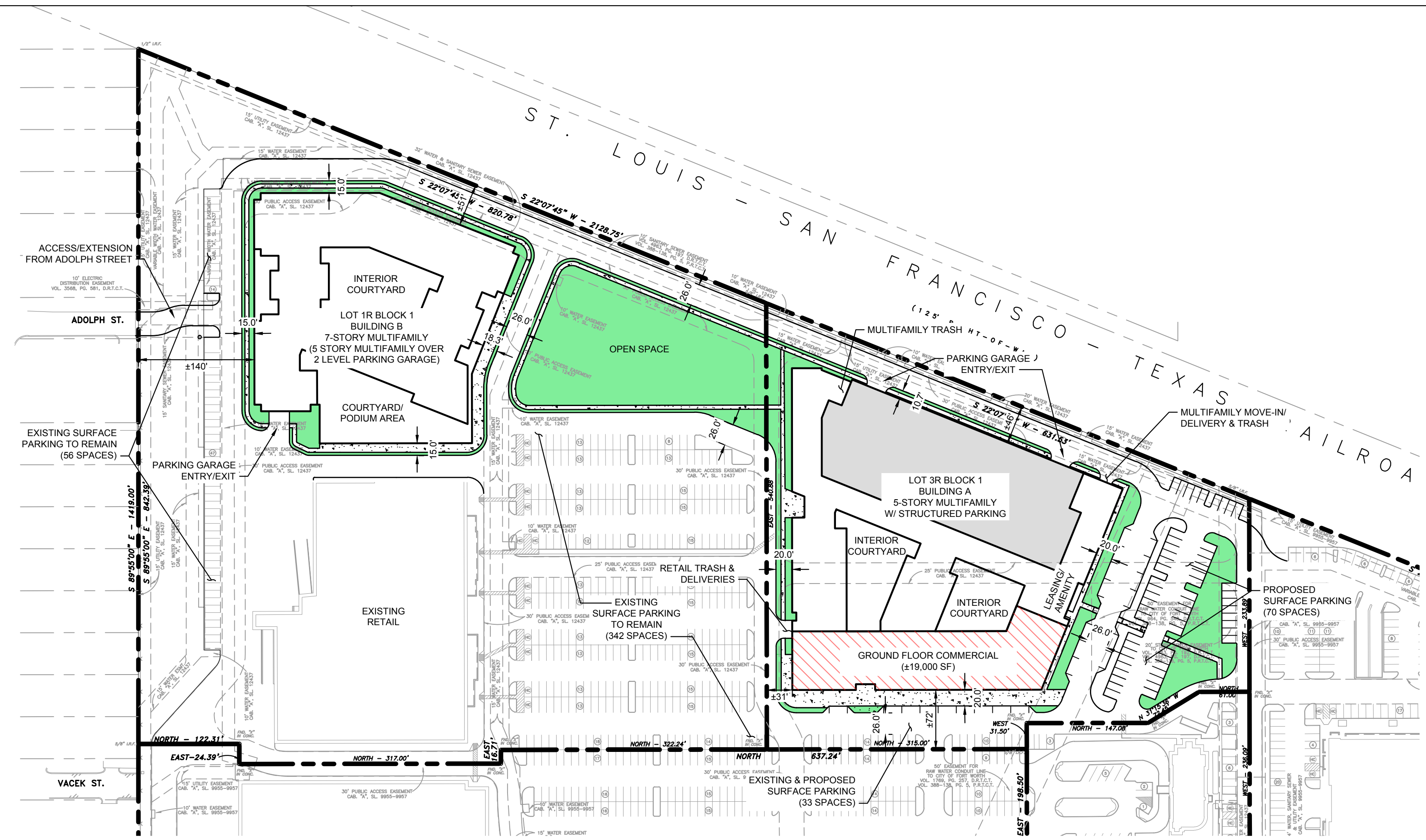


**LEGEND**

PROPERTY LINES	
PROP. OPEN SPACE / LANDSCAPE / HARDSCAPE AREA	
PROP. GARAGE	
PROP. GROUND FLOOR COMMERCIAL	
PROP. CONCRETE SIDEWALK	

**NOTES:**

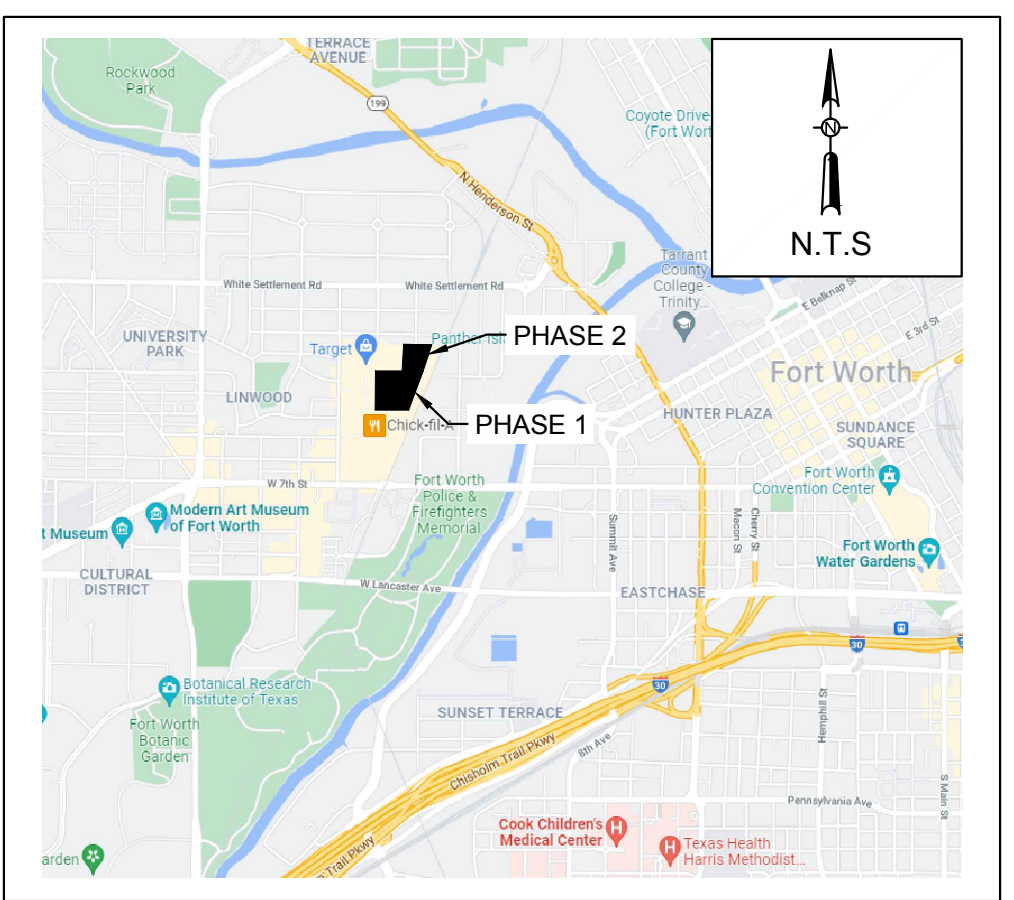
1. THIS PROJECT WILL COMPLY WITH URBAN FORESTRY REQUIREMENTS PER MU-2 STANDARDS
2. THIS PROJECT WILL COMPLY WITH SECTION 6.204 BICYCLE PARKING.
3. ALL PROVIDED LIGHTING SHALL CONFORM TO CITY OF FORT WORTH LIGHTING CODE.
4. ALL SIGNS SHALL CONFORM TO ARTICLE 4, SIGNS, THE UNIFIED SIGN AGREEMENT, AND THE ADDITIONAL PROVISIONS OF THE MU-2 ORDINANCE IN 4.1302(h)(1).
5. EXTERIOR TRASH RECEPTACLES WILL BE SCREENED WITH A MASONRY WALL ON 3 SIDES AND CONTAIN A GATE.
6. THIS PROJECT WILL COMPLY WITH 4.1302(F) BUFFERS, LANDSCAPING, AND PEDESTRIAN LIGHTING, INCLUDING ENHANCED LANDSCAPING 4.1302(F)(2).
7. THE POCKET PARK USED TO ATTAIN THE HEIGHT BONUS WILL BE DESIGNED TO MEET THE REQUIREMENTS OF 4.1302(d)(8)c.



**SITE DATA TABLE**

ZONING	PD/MU-2 (PD574)	
SUBDIVISION	MONTGOMERY PLAZA ADDITION	
LOT & BLOCK	LOT 1R, BLOCK 1	LOT 3R, BLOCK 1
LOT AREA (AC)	12.2551	5.3919
HEIGHT (MAX)	7 STORIES*	5 STORIES
MULTIFAMILY UNITS	595 (MAX) w/ ±7,500 SF AMENITY/LEASING EACH (15,000 SF TOTAL)	
COMMERCIAL	±68,111 SF (EX. TO REMAIN)	±19,000 SF (PROPOSED)
PARKING RATIOS (PER REQUIREMENT ESTABLISHED ON PREVIOUS SP-03-055)	1.5 SPA PER DWELLING UNIT 4 SPA PER 1,000 SF COMMERCIAL/AMENITY 10 SPA PER 1,000 SF RESTAURANT	
PARKING REQUIRED		
MULTIFAMILY	953	
COMMERCIAL	273	103
<b>TOTAL</b>	<b>1329</b>	
PARKING PROVIDED		
GARAGE*	953	
PROPOSED SURFACE	0	79
EXISTING SURFACE (TO REMAIN)	398	24
<b>TOTAL SURFACE</b>	<b>398</b>	<b>103</b>
<b>TOTAL</b>	<b>1454</b>	

\* MULTIFAMILY PARKING WILL BE WHOLLY CONTAINED WITHIN GARAGE FOR HEIGHT BONUS.  
 \*\* ANTICIPATES UP TO 4,400 SF OF RESTAURANT IN THE ±19,000 SF OF COMMERCIAL SPACE IN LOT 3R, BLOCK 1.



	MU-2 (NOV 2021)	PD574	PROPOSED	COMPLIES (Y/N)
HEIGHT - RESIDENTIAL, MAX	7 STORIES*	N/A	7 STORIES (MAX)	YES
SETBACK - PRIMARY STREET	0' MIN / 20' MAX	N/A	0' MIN / 20' MAX	YES
SETBACK - SIDE STREET	0' MIN / 20' MAX	N/A	0' MIN / 20' MAX	YES
SETBACKS - REAR	5' (MIN)	N/A	5' (MIN)	YES
PARKING - MULTIFAMILY	0.75 TO 1 PER BEDROOM PLUS 2 PER 500 SF LEASING/AMENITY	1.5 PER DU	1.5 PER DU	YES
PARKING - COMMERCIAL	4 PER 1,000 SF \ 10 PER 1,000 SF (RESTAURANT)	4 PER 1,000 SF/10 PER 1,000 SF	4 PER 1,000 SF/10 PER 1,000 SF	YES

\* ANTICIPATES HEIGHT BONUSES FOR STRUCTURED PARKING AND OPEN SPACE FOR LOT 1R.

\_\_\_\_\_  
DIRECTOR OF DEVELOPMENT SERVICES      DATE

# MONTGOMERY PLAZA SITE PLAN

**Kimley»Horn**  
 801 Cherry Street, Unit 11, Suite 1300  
 Fort Worth, TX 76102  
 817-335-6511  
 State of Texas Registration No. F-928

**ARCHITECT**  
 GFF  
 2808 FAIRMOUNT STREET, SUITE 300  
 DALLAS, TX 75201  
 CONTACT: BRIAN MOORE, AICP  
 (214) 303-1500

**OWNER/DEVELOPER:**  
 KIMCO REALTY  
 2600 W 7TH ST  
 FORT WORTH, TX 76107  
 CONTACT: CHRISTOPHER HERMAN  
 (682) 204-9484

**ENGINEER:**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 801 CHERRY ST. UNIT 11, SUITE 1300  
 FORT WORTH, TX 76102  
 CONTACT: JOHN AINSWORTH, PE  
 (817) 335-6511

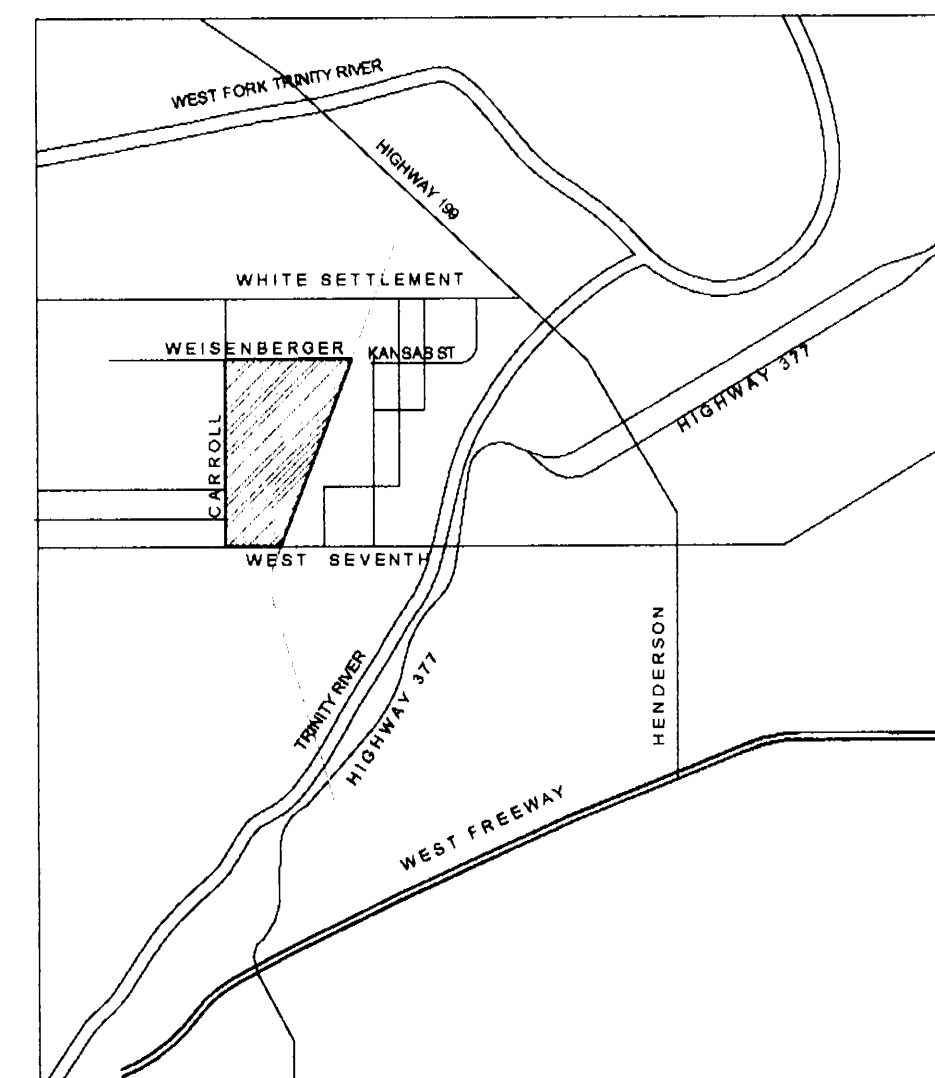
**ZONING SITE PLAN**  
 SP-22-010  
 PD574

RELATED CASES:  
 ZC-03-320A  
 SP-03-055

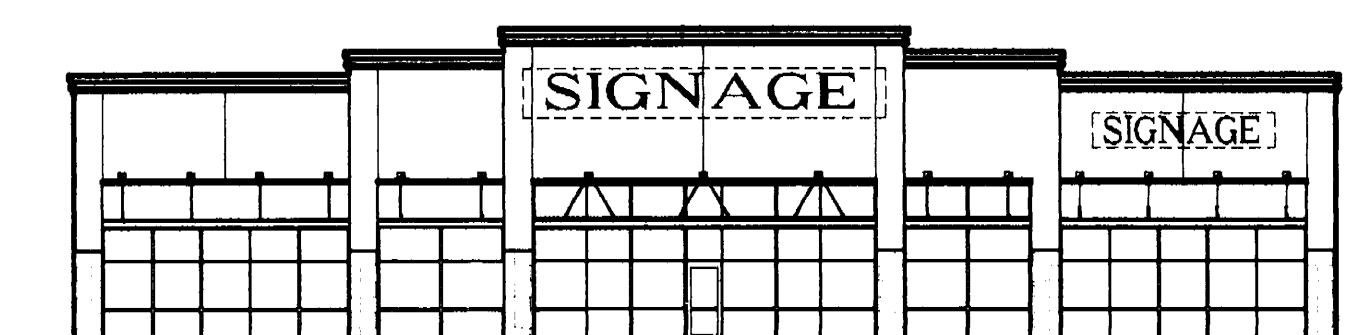
FORT WORTH, TX  
 AUGUST 29, 2022

# Staff Note for SP-22-010:

The original case file SP-03-055 has several different versions of the Site Plan. This is the latest date in the file that appears to be signed after the case went to City Council and appears similar to the layout that was constructed. This scan is blurry; see next map for legible version.



VICINITY PLAN



**EXAMPLE OF BUILDING ELEVATION FOR SIGNAGE**  
SCALE: N/A

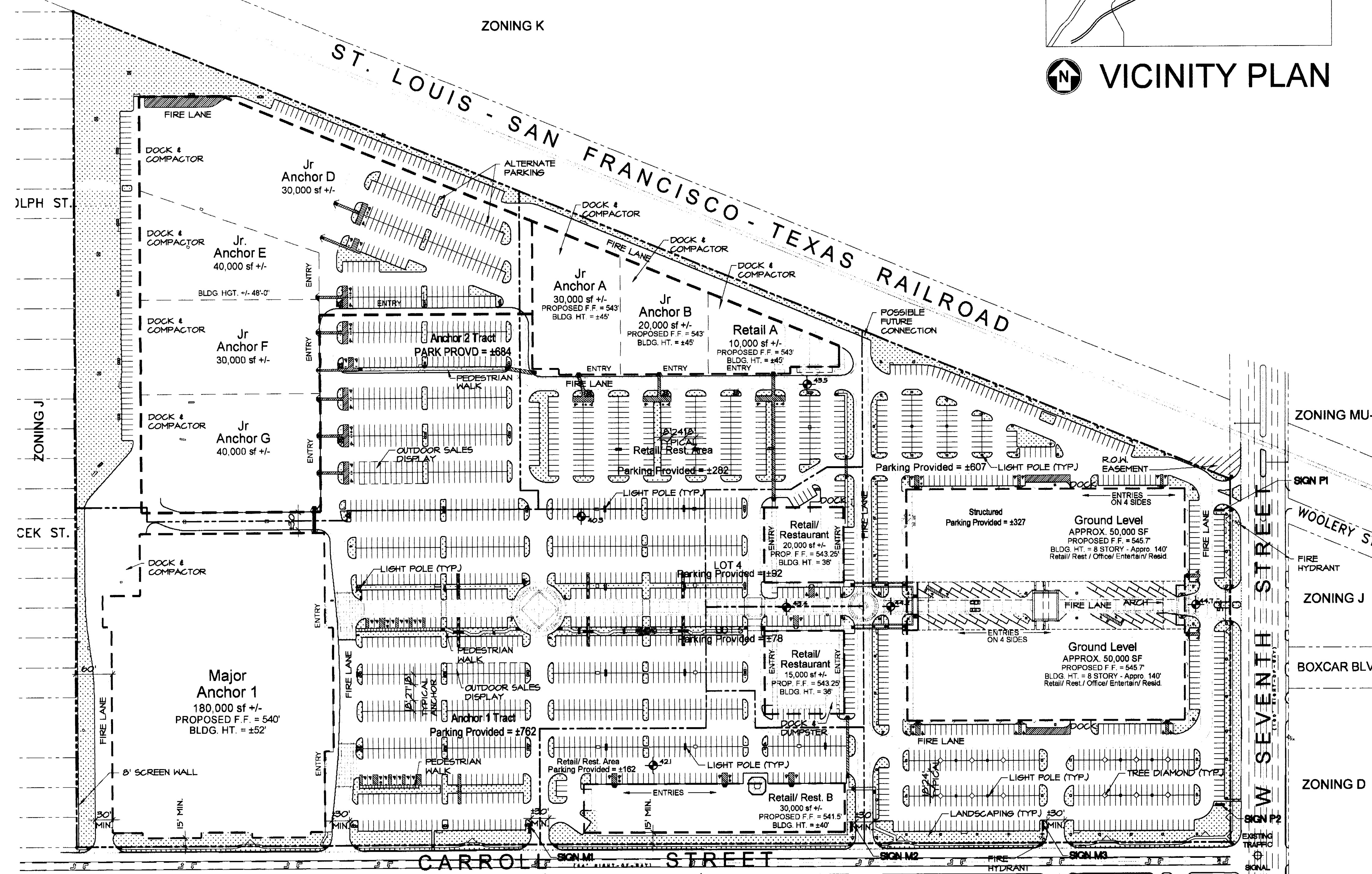
**MAXIMUM SIGNAGE AREA WILL BE AS FOLLOWS:**  
ANCHOR STORES: 50,000 SQ. FT. OR LARGER- 15% OF WALL SURFACE UP TO 1,000 SQ. FT. PER WALL  
JR. ANCHOR STORES: 15,000 SQ. FT. TO 49,999 SQ. FT.- 15% OF WALL SURFACE UP TO 500 SQ. FT. PER WALL  
ALL OTHER TENANTS: - 15% OF WALL SURFACE UP TO 300 SQ. FT. PER WALL  
EACH TENANT IS ALLOWED TO HAVE MULTIPLE SIGNS. SIGNS ARE ALLOWED ON MORE THAN ONE WALL OF THE BUILDINGS.

TABULATIONS	APPROXIMATE BLDG AREA	CITY PRK'G REQ'D	
Anchor/Jr.	370,000	4:1,000	1480
Retail/ Rest./Assembly (ASSUME 16,000 SF REST./ASSEMBLY)	75,000	4:1,000 / 10:1000	396
Exist. Mont. Wards (1st Floor) (ASSUME 18,900 SF REST./ASSEMBLY/ENTERTAINMENT)	100,000	4:1,000 / 10:1000	514
(2nd - 8th Floor) (W/MULTI-FAMILY/ASSEMBLY/ENTERTAINMENT/RECREATION)	600,000		*604
<b>TOTAL</b>	<b>1,145,000</b>		<b>2994 Total W/ Garage</b>

**PARKING PROVIDED** 2558 Surface  
327 Garage

**TOTAL SITE AREA** 46.19 ac  
2885 Total Surface & Garage

\* NOTE: 1. PARKING REQUIREMENT USED IS 1 1/2 SPACES MIN. PER DWELLING UNIT (APPROX. 1 SPACE PER BEDROOM) TOTAL NUMBER OF UNITS ARE APPROX. 224 WHICH REQUIRED 336 PARKING SPACES, PLUS (HEALTH CLUB AND ASSEMBLY/ ENTERTAINMENT/RECREATION) WHICH REQUIRED 268 SPACES FOR A TOTAL REQUIRED OF 604.



**GRAPHIC LEGEND**

- LANDSCAPE AREA
- PAVER, STAINED/PATTERNED CONC. OR EXPOSED AGGREGATE PAVING LOT OR WALKWAYS
- STRIPED AREA
- CONCRETE PAVING LOT OR WALKWAYS
- SITE LIGHTING HT. - 41'-0"
- 400-1000H SHROBOX FIXTURE COLOR, CHAMPAGNE OR DARK BRONZE
- FIRE HYDRANT
- SITE GRADE

**Exterior Materials List**

**Masonry Units**  
MU-1 Acme Brick/ Blackson Brick  
Select Stone/ Amiscraft Masonry Units  
Finish: Smooth

MU-2 Acme Brick/ Blackson Brick  
Select Stone/ Amiscraft Masonry Units  
Finish: Textured

MU-3 Acme Brick/ Blackson Brick  
Select Stone/ Amiscraft Masonry Units  
Type: Cut Trim Profile

**Brick**  
B-1 Acme Brick - Buff  
B-2 Acme Brick - Terra Cotta  
B-3 Acme Brick - Teupe

**Stone Tile**  
ST-1 Cantera Stone Tile  
Color: Orange  
Finish: Hewn/Smooth

ST-2 Cantera Stone Tile  
Color: Anoaquin White  
Finish: Hewn/Smooth

**Clay Tile**  
RT-1 Clay Roof Tile  
Color: Terra Cotta  
Type: Barrel

**Texture Coat**  
TC-1 Field Wall  
Color: White, Textured

TC-2 Field Wall  
Color: Almond, Textured

TC-3 Field Wall  
Color: Beige, Textured

TC-4 Accent Color  
TC-5 Accent Color  
TC-6 Accent Color

**EIFS**  
E-1 Dryvit  
Color: Off White  
Finish: Sand Blasted

**Metal Awning**  
MA-1 Pre-Finished Metal Awning  
Type: Flat, Rod Supported  
Finish: Black, Metallic, Accent Color

MA-2 Pre-Finished Metal Awning  
Type: Sloped, Frame Supported  
Finish: Black, Metallic, Accent Color

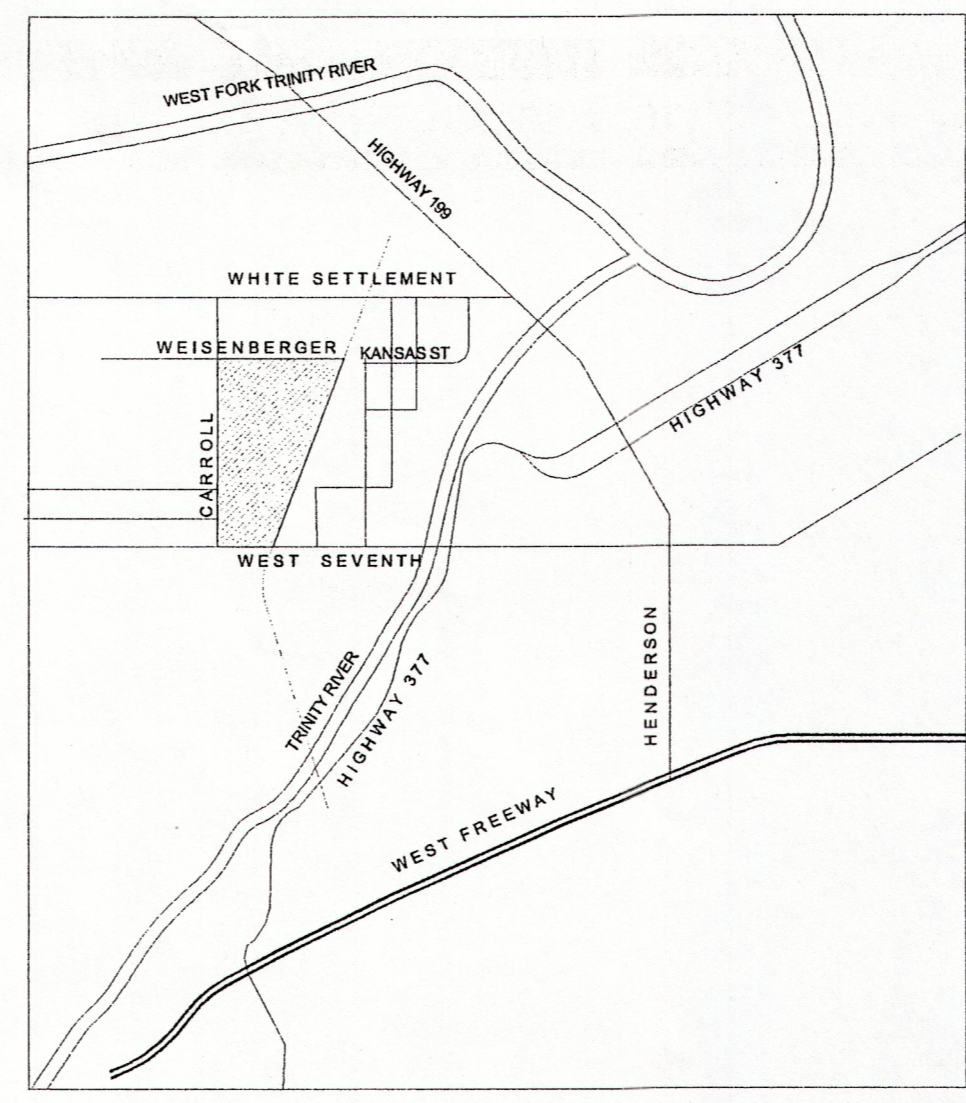
Note: Materials subject to change based on design & availability. Color palette to remain similar.

**NOTES**

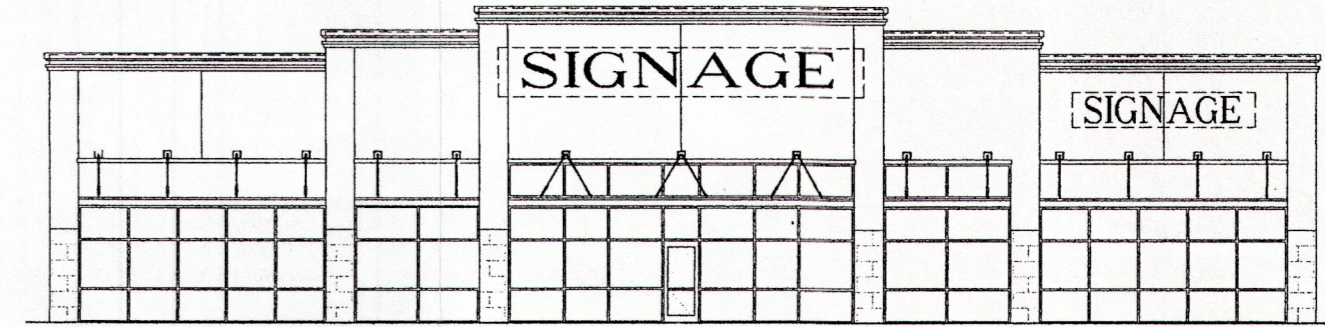
1. All work shall be in accordance with the City of Fort Worth specifications and standards.
2. All work shall be in accordance with the City of Fort Worth specifications and standards.
3. All work shall be in accordance with the City of Fort Worth specifications and standards.
4. All work shall be in accordance with the City of Fort Worth specifications and standards.

**SIGNAGE BLOCK**  
ZONING CASE # ZC003320  
SITE PLAN # SP-03-055  
APPROVED BY [Signature] CITY OF FT. WORTH

**Staff Note for SP-22-010:**  
 Text portions of the original case file  
 SP-03-055 are blurry. This administrative  
 revision site plan from 2010 has all text legible.



**VICINITY PLAN**

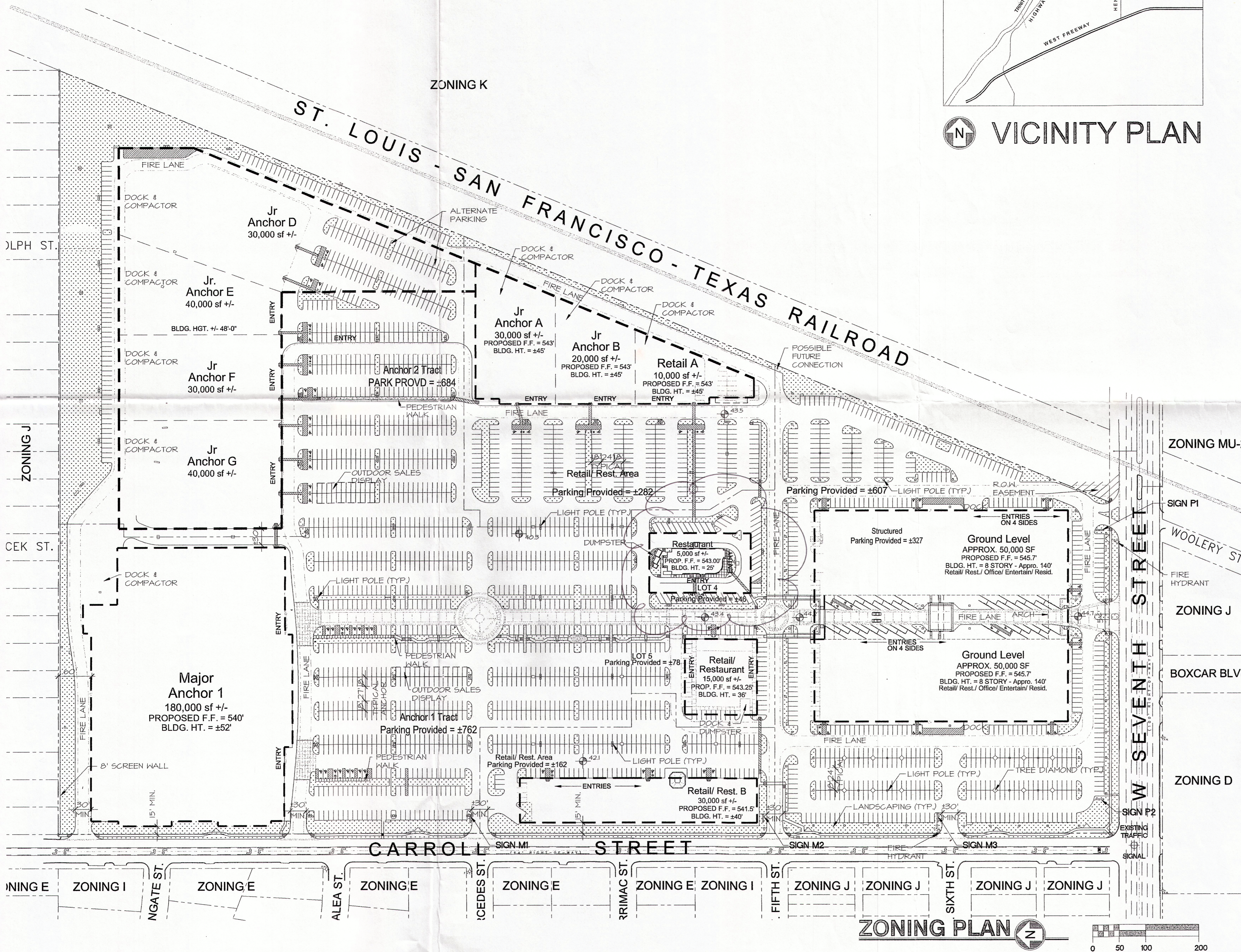


**EXAMPLE OF BUILDING ELEVATION FOR SIGNAGE**

MAXIMUM SIGNAGE AREA WILL BE AS FOLLOWS:  
 ANCHOR STORES: 50,000 SQ. FT. OR LARGER- 15% OF WALL SURFACE UP TO 1,000 SQ. FT. PER WALL  
 (ASSUME 16,000 SF REST./ASSEMBLY)  
 JR. ANCHOR STORES: 15,000 SQ. FT. TO 49,999 SQ. FT.- 15% OF WALL SURFACE UP TO 500 SQ. FT. PER WALL  
 ALL OTHER TENANTS: - 15% OF WALL SURFACE UP TO 300 SQ. FT. PER WALL  
 EACH TENANT IS ALLOWED TO HAVE MULTIPLE SIGNS. SIGNS ARE ALLOWED ON MORE THAN ONE WALL OF THE BUILDINGS.

TABULATIONS	APPROXIMATE BLDG AREA	CITY PRK'G REQ'D
Anchor/Jr.	370,000	4:1,000 1480
Retail/ Rest./Assembly	60,000	4:1,000 / 10:1000 336
Exist. Mont. Wards (1st Floor)	100,000	4:1,000 / 10:1000 514
(2nd - 8th Floor)	600,000	*604
<i>(W/MULTI-FAMILY/ASSEMBLY/ENTERTAINMENT/RECREATION)</i>		
<b>TOTAL</b>	<b>1,145,000</b>	<b>2934 Total W/ Garage</b>
<b>PARKING PROVIDED</b>		<b>2512 Surface</b>
		<b>327 Garage</b>
<b>TOTAL SITE AREA</b>	<b>46.19 ac</b>	<b>2839 Total Surface &amp; Garage</b>

\* NOTE: 1. PARKING REQUIREMENT USED IS 1 1/2 SPACES MIN. PER DWELLING UNIT (APPROX. 1 SPACE PER BEDROOM) TOTAL NUMBER OF UNITS ARE APPROX. 224 WHICH REQUIRED 336 PARKING SPACES. PLUS HEALTH CLUB AND ASSEMBLY/ ENTERTAINMENT/RECREATION WHICH REQUIRED 268 SPACES FOR A TOTAL REQUIRED OF 604.



**GRAPHIC LEGEND**

	LANDSCAPE AREA		SITE LIGHTING
	PAVERS, STAINED/ PATTERNED CONC. OR EXPOSED AGGREGATE PARKING LOT OR WALKWAYS		FIRE HYDRANT
	STRIPED AREA		SITE GRADE
	CONCRETE PARKING LOT OR WALKWAYS		

**PD Site Plan**

- Setbacks as shown on plan
- Building height is approx. as shown on plan with a 60' maximum for all buildings except existing 8 story building. It will remain as is with an added feature in the central element increasing the height approximately 10' above the existing height.
- Proposed Finish Floor elevations are approximate.
- Signage also subject to unlit site plan.
- Existing signs on top of 8 story building to remain & be renovated to say "Montgomery Plaza" or similar.

**TE**

**Landscaping**

- Landscape area required on the site shall be 10% of net site area. Calculation is based on total site acreage of 46.19 ac. Individual lot calculation not required.
- Landscape islands in the parking lot will be approximately 5 sq. ft per parking space.
- Parking Area to be screened from right-of-way by landscaping consisting of shrubs to be a minimum 36" mature height.
- Minimum 75% of interior landscape islands within parking lot will have 2 trees, 3" caliper.

**8-Story Building to contain the following**

- 1st Level - Combination of retail, restaurant, office, entertainment and ancillary residential use.
- 2nd & 3rd Level and Partial Level 4 - parking, retail, entertainment & office.
- Levels 3 thru 8 - residential/hotel/office/entertainment uses. If residential, approximately 224 units.

**Parking/ Drives**

- Parking requirements may be reduced by 25% for uses. Parking provided will be as shown on the plan with approximately, 327 parking spaces in structured parking within the 8 story building.
- Structured parking within an existing building will have parking spaces that minimum of 8' wide with a one-way drive min. width of 18'-0" at the post and existing columns.

**Large Retail Store Ordinance**

- The setback and restricted activities within 100' of residential use does not apply, except that Art. 1, Section 5.133, B, 5, b will apply with the following exception: 18 wheeler refrigeration trucks will be allowed to run at any time the truck is docked.
- No truck dock screening is required at the north side of the property except for a continuous 8'-0" tall screen fence along the north property line.
- Texture coated concrete is an acceptable building finish material.
- Display windows and/or storefronts allowed on the West Building faces of major Anchor 1 and Retail/Restaurant B adjacent to Carroll Street.

**General Conditions - Uses**

**MU2 Uses with the following amendments:**

- Furniture sales with outdoor storage and display (new)
- Outdoor sales and storage consisting of the following for Major Anchors: masonry/ paving materials, fencing, plants/ landscaping, tool sheds, lawn equipment, outdoor furniture.
- Storage yard, building materials
- Yards, contractors, lumber or storage

**Preliminary Schedule**

Major Anchor 1	November 2005
Junior Anchors, and Retail/Restaurant Buildings	November, 2006
Existing 8-Story Building, First Level	November, 2005

**Exterior Materials List**

**Masonry Units**

- MU-1 Acme Brick/ Blackson Brick  
\*Select Stone/ Artiscraft Masonry Units  
Finish: Smooth
- MU-2 Acme Brick/ Blackson Brick  
\*Select Stone/ Artiscraft Masonry Units  
Finish: Textured
- MU-3 Acme Brick/ Blackson Brick  
\*Select Stone/ Artiscraft Masonry Units  
Type: Cut Trim Profile

**Brick**

- B-1 Acme Brick - Buff
- B-2 Acme Brick - Terra Cotta
- B-3 Acme Brick - Taupe

**Stone Tile**

- ST-1 Cantera Stone Tile  
Color: Orange  
Finish: Hewn/Smooth
- ST-2 Cantera Stone Tile  
Color: Anacuan White  
Finish: Hewn/Smooth

**Clay Tile**

- RT-1 Clay Roof Tile  
Color: Terra Cotta  
Type: Barrel

**Texture Coat**

- TC-1 Field Wall  
Color: White, Textured
- TC-2 Field Wall  
Color: Almond, Textured
- TC-3 Field Wall  
Color: Beige, Textured
- TC-4 Accent Color
- TC-5 Accent Color
- TC-6 Accent Color

**EIFS**

- E-1 Dryvit  
Color: Off White  
Finish: Sand Blasted

**Metal Awnings**

- MA-1 Pre-Finished Metal Awning  
Type: Flat, Rod Supported  
Finish: Black, Metallic, Accent Color
- MA-1 Pre-Finished Metal Awning  
Type: Sloped, Frame Supported  
Finish: Black, Metallic, Accent Color

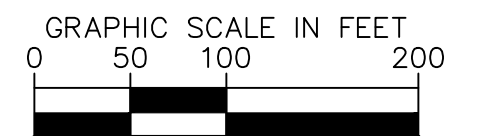
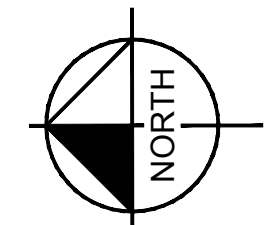
Note: Materials subject to change based on design & availability. Color palette to remain similar.

RECEIVED  
MAY 27 2010  
BY: [Signature]

APPROVED  
By Council  
Date: [Signature]

SIGNAGE BLOCK  
 ZONING CASE # ZC003320  
 SITE PLAN # SP-03-055  
 APPROVED BY [Signature] CITY OF FT. WORTH

# Exhibit of Public Access Easements

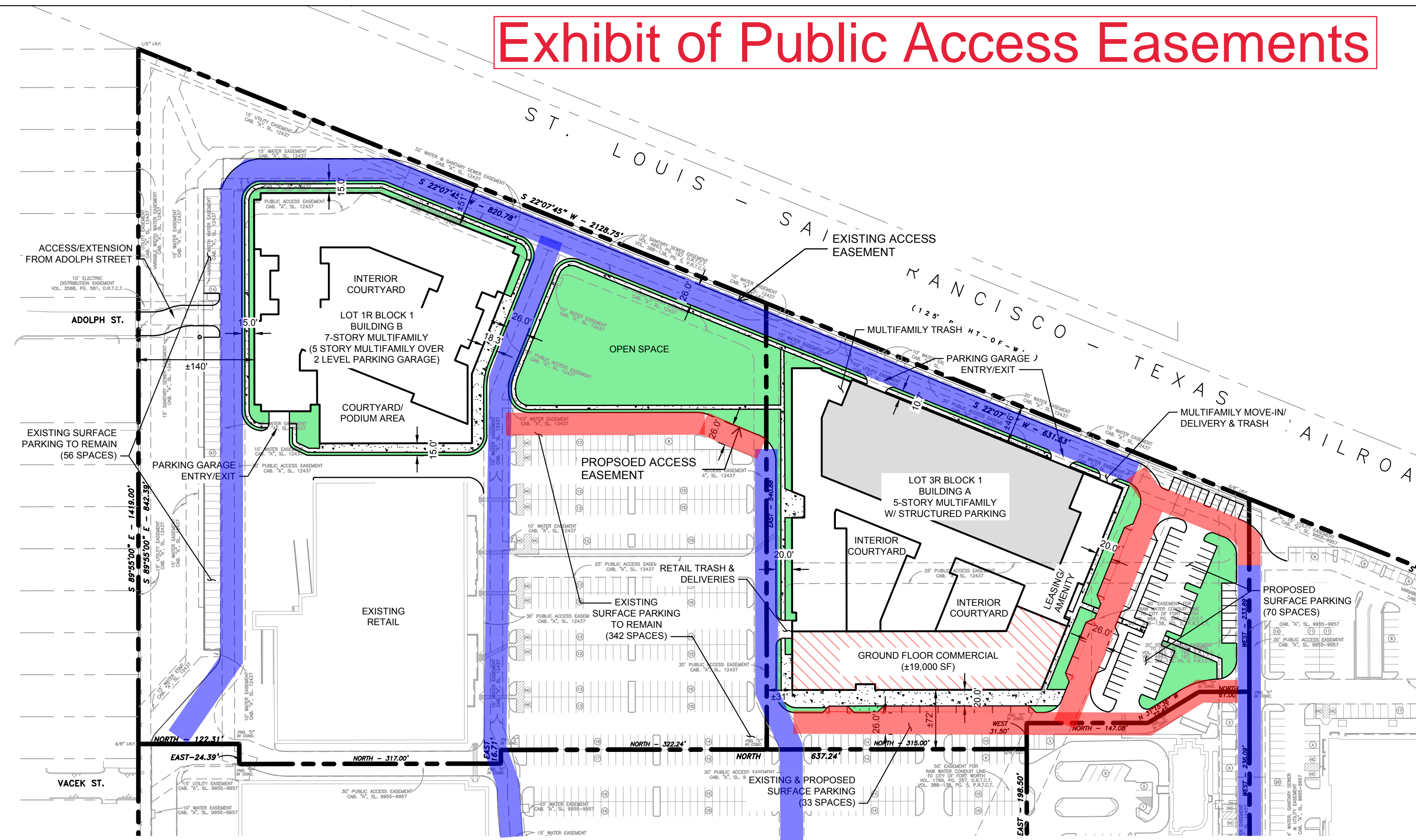


### LEGEND

PROPERTY LINES	
PROP. OPEN SPACE / LANDSCAPE / HARDSCAPE AREA	
PROP. GARAGE	
PROP. GROUND FLOOR COMMERCIAL	
PROP. CONCRETE SIDEWALK	

### NOTES:

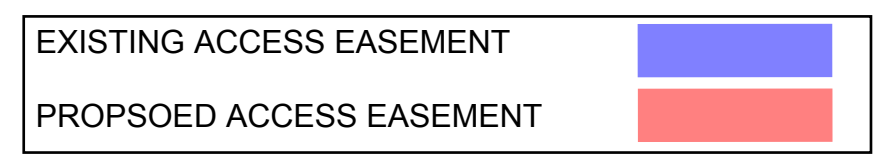
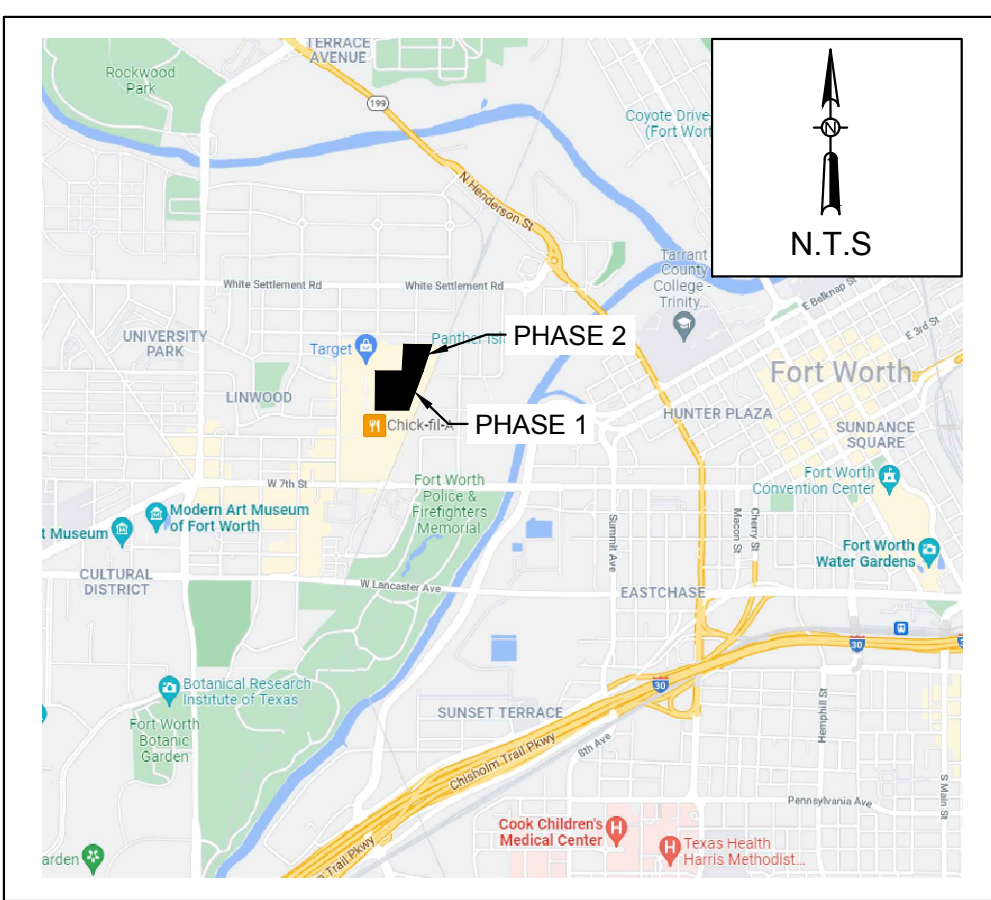
- THIS PROJECT WILL COMPLY WITH URBAN FORESTRY REQUIREMENTS PER MU-2 STANDARDS
- THIS PROJECT WILL COMPLY WITH SECTION 6.204 BICYCLE PARKING.
- ALL PROVIDED LIGHTING SHALL CONFORM TO CITY OF FORT WORTH LIGHTING CODE.
- ALL SIGNS SHALL CONFORM TO ARTICLE 4, SIGNS, THE UNIFIED SIGN AGREEMENT, AND THE ADDITIONAL PROVISIONS OF THE MU-2 ORDINANCE IN 4.1302(h)(1).
- EXTERIOR TRASH RECEPTACLES WILL BE SCREENED WITH A MASONRY WALL ON 3 SIDES AND CONTAIN A GATE.
- THIS PROJECT WILL COMPLY WITH 4.1302(F) BUFFERS, LANDSCAPING, AND PEDESTRIAN LIGHTING, INCLUDING ENHANCED LANDSCAPING 4.1302(F)(2).
- THE POCKET PARK USED TO ATTAIN THE HEIGHT BONUS WILL BE DESIGNED TO MEET THE REQUIREMENTS OF 4.1302(d)(8)c.



### SITE DATA TABLE

ZONING	PD/MU-2 (PD574)	
SUBDIVISION	MONTGOMERY PLAZA ADDITION	
LOT & BLOCK	LOT 1R, BLOCK 1	LOT 3R, BLOCK 1
LOT AREA (AC)	12.2551	5.3919
HEIGHT (MAX)	7 STORIES*	5 STORIES
MULTIFAMILY UNITS	595 (MAX) w/ ±7,500 SF AMENITY/LEASING EACH (15,000 SF TOTAL)	
COMMERCIAL	±68,111 SF (EX. TO REMAIN)	±19,000 SF (PROPOSED)
PARKING RATIOS (PER REQUIREMENT ESTABLISHED ON PREVIOUS SP-03-055)	1.5 SPA PER DWELLING UNIT 4 SPA PER 1,000 SF COMMERCIAL/AMENITY 10 SPA PER 1,000 SF RESTAURANT	
PARKING REQUIRED		
	MULTIFAMILY	953
	COMMERCIAL	273
	<b>TOTAL</b>	<b>1329</b>
PARKING PROVIDED		
	GARAGE*	953
	PROPOSED SURFACE	0
	EXISTING SURFACE (TO REMAIN)	398
	<b>TOTAL SURFACE</b>	<b>398</b>
	<b>TOTAL</b>	<b>1454</b>

\* MULTIFAMILY PARKING WILL BE WHOLLY CONTAINED WITHIN GARAGE FOR HEIGHT BONUS.  
 \*\* ANTICIPATES UP TO 4,400 SF OF RESTAURANT IN THE ±19,000 SF OF COMMERCIAL SPACE IN LOT 3R, BLOCK 1.



### CODE COMPARISON TABLE

	MU-2 (NOV 2021)	PD574	PROPOSED	COMPLIES (Y/N)
HEIGHT - RESIDENTIAL, MAX	7 STORIES*	N/A	7 STORIES (MAX)	YES
SETBACK - PRIMARY STREET	0' MIN / 20' MAX	N/A	0' MIN / 20' MAX	YES
SETBACK - SIDE STREET	0' MIN / 20' MAX	N/A	0' MIN / 20' MAX	YES
SETBACKS - REAR	5' (MIN)	N/A	5' (MIN)	YES
PARKING - MULTIFAMILY	0.75 TO 1 PER BEDROOM	1.5 PER DU	1.5 PER DU	YES
PARKING - COMMERCIAL	PLUS 2 PER 500 SF LEASING/AMENITY	4 PER 1,000 SF / 10 PER 1,000 SF (RESTAURANT)	4 PER 1,000 SF / 10 PER 1,000 SF	YES

\* ANTICIPATES HEIGHT BONUSES FOR STRUCTURED PARKING AND OPEN SPACE FOR LOT 1R.

\_\_\_\_\_  
 DIRECTOR OF DEVELOPMENT SERVICES DATE

# MONTGOMERY PLAZA SITE PLAN

RELATED CASES:  
 ZC-03-320A  
 SP-03-055

ZONING SITE PLAN  
 SP-22-010  
 PD574

FORT WORTH, TX  
 AUGUST 29, 2022



801 Cherry Street, Unit 11, Suite 1300  
 Fort Worth, TX 76102  
 817-335-6511  
 State of Texas Registration No. F-928

ARCHITECT  
 GFF  
 2808 FAIRMOUNT STREET, SUITE 300  
 DALLAS, TX 75201  
 CONTACT: BRIAN MOORE, AICP  
 (214) 303-1500

OWNER/DEVELOPER:  
 KIMCO REALTY  
 2600 W 7TH ST  
 FORT WORTH, TX 76107  
 CONTACT: CHRISTOPHER HERMAN  
 (682) 204-9484

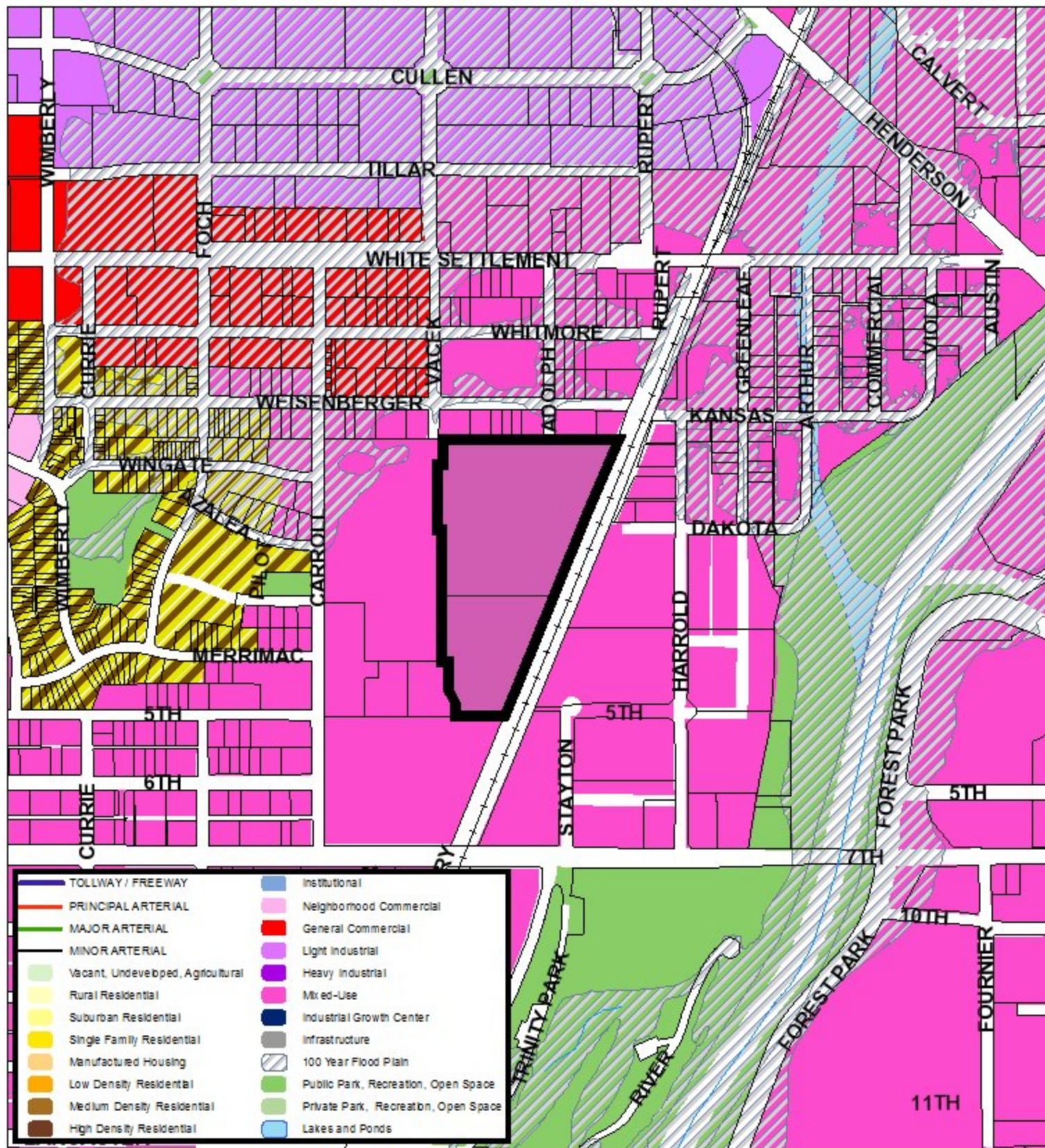
ENGINEER:  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 801 CHERRY ST. UNIT 11, SUITE 1300  
 FORT WORTH, TX 76102  
 CONTACT: JOHN AINSWORTH, PE  
 (817) 335-6511

## Area Map



0 1,000 2,000 4,000 Feet

### Future Land Use



650 325 0 650 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



## Aerial Photo Map



0 400 800 1,600 Feet

